

 <b>Reigate &amp; Banstead</b> BOROUGH COUNCIL Banstead   Horley   Redhill   Reigate	<b>TO:</b>	PLANNING COMMITTEE
	<b>DATE:</b>	05 July 2017
	<b>REPORT OF:</b>	HEAD OF PLACES AND PLANNING
	<b>AUTHOR:</b>	Matthew Holdsworth
	<b>TELEPHONE:</b>	01737 276752
	<b>EMAIL:</b>	Matthew.Holdsworth@reigate-banstead.gov.uk
<b>AGENDA ITEM:</b>	7	<b>WARD:</b> Reigate Central

<b>APPLICATION NUMBER:</b>	17/00142/F	<b>VALID:</b>	20 January 2017
<b>APPLICANT:</b>	C Aylott & J Aylott	<b>AGENT:</b>	Reigate Architects Ltd
<b>LOCATION:</b>	<b>LAND ADJACENT TO 27 YORKE GARDENS, REIGATE</b>		
<b>DESCRIPTION:</b>	<b>Two new semi-detached dwellings and four off road parking spaces.</b>		
<b>All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.</b>			

**This application is referred to Committee in accordance with the Constitution as the application site is for net 2 dwellings**

## SUMMARY

The proposed development is for the erection of two semi-detached town houses on a vacant plot of land adjacent to 27 Yorke Gardens along with four car parking spaces at the end of the turning head to Yorke Gardens.

The dwellings would be of a similar height to those properties within Yorke Gardens and would have sufficient amenity areas to both the front and the back when viewed within the wider context of the street scene.

Concern has been raised due to the potential impact on a protected lime tree to the front (north) of the proposed properties. Amended plans have been received that removed the proposed garage from within the RPA (Root Protection Area) of that tree and amended arboricultural information has been submitted that would protect the tree. The changes to the proposed development in relation to the protected tree means that the previously identified concerns and reasons for refusal in the previous planning application ref: 05/02394/F, that was refused in December 2005, have been addressed.

Due to the reduction of the first and second floor element of the properties to the rear, it is considered that the relationship with the neighbouring properties is such that no adverse harm would occur as a result of the proposed development and the

character of the local area would be respected. Whilst the design would not be identical to the adjoining properties, there is no material harm to the character of the area that would result. The proposal is therefore considered acceptable and to a design that overcomes the previously identified concerns that resulted in the 2005 planning application, ref: 05/02394/F, being refused.

## **RECOMMENDATION**

Planning permission is **GRANTED** subject to conditions.

## Consultations:

Highway Authority: The proposed development has been considered by the County Highway Authority who having considered any local representations and having assessed the application on safety, capacity and policy grounds, recommends conditions be imposed in any permission granted relating to: the vehicular access being constructed; parking, and; a construction management statement

Tree Officer: No objection, subject to conditions. Following a site meeting a revised Tree Protection Plan produced by ACS, reference April 2017, TPP\_YG Rev A shows an area of hard standing underneath T1 rather than a detached garage. Whilst this change is beneficial because there will be less impact on the rooting environment of T1, I am concerned that without some form of shelter cars parking underneath T1 will be covered with sticky honeydew which can be a cause of annoyance for the owners. However, as the tree is subject to a TPO it means that it will be necessary to obtain permission from the council before carrying out any work, therefore ensuring the works are carried out to the industry best practice. The proposed foundation (small bore piles supporting a 160 mm slabs) is acceptable but the method of construction will have to be established; this can be secured by way of a suitably worded condition.

SES Water: no comments received

## Representations:

Letters were sent to neighbouring properties on 24 April 2017 and 30 May 2017. Representations have been received from twenty nine residents stating the following concerns:

<b>Issue</b>	<b>Number</b>	<b>Response</b>
Overdevelopment of plot	13	See paragraph 6.6
Overshadowing and loss of light	15	See paragraph 6.9
Loss of privacy	10	See paragraph 6.11
Harm to trees	18	See paragraph 6.14
Inadequate parking	19	See paragraph 6.15
Increase to traffic	7	See paragraph 6.15
Harm during construction	7	Not a material consideration
Poor design	11	See paragraph 6.5
Out of keeping	11	See paragraph 6.5
Flooding / drainage issues	8	The site is not within flood zones two or three. Drainage issues are not a material planning consideration.
Harm to wildlife habitat	4	See paragraph 6.16

## **1.0 Site and Character Appraisal**

- 1.1 The application site comprises the vacant land immediately to the west of 27 Yorke Gardens, to the east of 26 Burlington Place and immediately to the rear of 29/29A London Road (Locally Listed Building).
- 1.2 The land is currently vacant, having been previously part of the rear garden of 29/29A London Road and then as an informal vegetable garden. There is a substantial tree towards the front (north) of the site which is protected by a TPO. The site is relatively flat although there are some minor changes to levels.

## **2.0 Added Value**

- 2.1 Improvements secured at the pre-application stage: The opportunity did not arise because the applicant did not approach the Local Planning Authority before submitting the application.
- 2.2 Further improvements could be secured: Conditions will be placed on the grant of permission to ensure the correct choice of materials, a scheme of hard and soft landscaping, tree protection plan, and obscure glazing to side facing windows, withdrawal of permitted development rights for extensions or outbuildings, highways conditions

## **3.0 Relevant Planning and Enforcement History**

- 3.1 05/02394/F - Erection of two houses – refused on 22 December 2005 for the following two reasons:
  1. *The proposed development would result in the significant damage to, or loss of a protected lime tree of significant visual amenity. The development would therefore be contrary to Policies Pc4 and Pc13 of the Reigate and Banstead Borough Local Plan 2005; Policy SE9 of the Surrey Structure Plan 2004, and advice in British Standard 5837: 2005 "Trees in Relation to Construction"*
  2. *The proposed development would by reason of its impact on the protected tree and poor design fail to preserve or enhance the Reigate Conservation Area, contrary to policies Pc12 and Pc13 of the Reigate and Banstead Borough Local Plan 2005 and policies SE4 and SE5 of the Surrey Structure Plan 2004.*
- 3.2 Since the refusal of the above application the Reigate Town Centre Conservation Area boundary has been revised and the site no longer is within the designated Conservation Area but remains adjacent to it.

#### 4.0 Proposal and Design Approach

- 4.1 This is a full application for the erection of two, three storey semi-detached town houses with four car parking spaces to the front of the property and small courtyard gardens to the rear. The properties would have a gable to the front to one, and a dormer window to the other. To the rear, the properties would share a rear gable.
- 4.2 The property would be raised slightly higher than the properties in Yorke Gardens but would have the same ridge height as the immediately adjoining property in Yorke Gardens. The depth of the property has been amended at first and second floor level to remove the projection to the rear. There would be a single storey rear element of an additional 3m to the rear.
- 4.3 A traditional palette of materials has been proposed and the use of these would be secured by condition.
- 4.4 Access to the properties would be from Yorke Gardens and would utilise and extend the existing dropped kerb access to no.27 Yorke Gardens. Space for four cars to be parked off road would be provided.
- 4.5 Circular 01/06 confirms that a design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
- Assessment;
  - Involvement;
  - Evaluation; and
  - Design.
- 4.6 Evidence of the applicant's design approach is set out below:

Assessment	The statement assess that the local area is of mixed age and of varying architectural styles, and that the plot is within an area where there is presumption in favour of sustainable development as per paragraphs 60 and 65 of the NPPF.
	No site features worthy of retention were identified.
Involvement	No community consultation took place.
Evaluation	The statement does not include any evidence of other development options being considered.
Design	The statement explains that the proposal has been designed and styled to be more similar to the properties within Burlington Place.

## **5.0 Policy Context**

### **5.1 Designation**

Urban Area  
Adjacent to Reigate Town Centre Conservation Area.  
TPO RE732

### **5.2 Reigate and Banstead Core Strategy**

CS1(Sustainable Development)  
CS4 (Valued Townscapes and Historic Environment)  
CS10 (Sustainable Development),  
CS11 (Sustainable Construction),  
CS15 (Affordable Housing)

### **5.2 Reigate & Banstead Borough Local Plan 2005**

Conservation	Pc4, Pc12, Pc13
Housing	Ho9, Ho13, Ho16
Movement	Mo5, Mo7

### **5.3 Other Material Considerations**

National Planning Policy Framework	
Supplementary Planning Guidance	Surrey Design Local Distinctiveness Design Guide Householder Extensions and Alterations
Other	Human Rights Act 1998

## **6.0 Assessment**

6.1 The application site is situated within the urban area where there is a presumption in favour of sustainable development and where the principle of such development is acceptable in land use terms.

6.2 The main issues to consider are:

- Impact on local character
- Impact on conservation area
- Neighbour amenity
- Highway and parking matters
- Trees and landscaping
- CIL
- Affordable housing

Impact on local character

- 6.3 The proposed dwellings are of a broadly traditional design with a relatively steep pitched roof. One of the properties would have a hipped gabled dormer to the front elevation; the other would have a gable and there would be a gable to the rear. They are of a different design to the proposals refused under 05/02394/F which was refused due to impact to the conservation area and the protected tree.
- 6.4 During the course of the application, the proposed building has been reduced in bulk and scale, especially to the first and second floor to the rear of the property. The proposed dwellings will be finished in yellow stock brickwork with a plain tile roof. Windows and doors will be in Upvc generally with patio doors in powder-coated aluminium. The use of materials would be similar to those used in the adjoining properties in Burlington Place. It is considered that the proposed materials would be acceptable and can be controlled by condition.
- 6.5 The proposed area is within an area typified by Victorian / Edwardian development according to the Local Distinctiveness Guide. The use of gables, a steeply pitched roof and hipped dormers reflect the wider area. It is noted that the proposal would be in contrast to the existing properties in Yorke Place; however, they would still be of a townhouse format, be no more bulky in terms of height and would be set back a little from the existing street scene. Paragraph 60 of the NPPF states that “planning policies and decisions should not attempt to impose architectural styles or particular tastes and they should not stifle innovation, originality or initiative through unsubstantiated requirements to conform to certain development forms or styles.” In this instance, it is considered that whilst the design would not be identical to the adjoining properties, there is no material harm to the character of the area that would result in a reason for refusal on this ground.
- 6.6 The scale of the plots would be commensurate with the majority of the gardens within Yorke Gardens; whilst it is appreciated that the plots may have shallower gardens to the rear, they are wider and they would have a similar amount of amenity space. In terms of spacing, a gap of at least 1m would be maintained with the boundaries to no.26 Burlington Place and 27 Yorke Gardens thus complying with the adopted guidance and policies in the Borough Local Plan and note result in an overdevelopment of the site

Impact on conservation area

- 6.7 The proposed site was formerly part of the rear garden to 29 and 29A London Road. However, it has been removed from the curtilage of those properties and is no longer part of the conservation area. There is a substantial distance between the proposed building and the properties on London Road and there is significant screening over much of the boundary. A boundary treatment condition will be imposed along the southern boundary to minimise any potential impact on the conservation area.

### Neighbour amenity

- 6.8 The proposal would create two new three storey dwellings in an empty plot and there would be a material change to the amenity of the neighbouring properties. However, it is not considered that the harm to the amenity would be significant to warrant a refusal on this ground.
- 6.9 The proposal would be situated 1m away from the boundary with 27 Yorke Gardens. That property has a conservatory to the rear that extends as far as the single storey elements of the proposal. The rear of the houses at first and second floor level would be roughly level with the terrace of houses from 15-27 Yorke Gardens. This would ensure that there would not be a significant loss of light or dominance to those properties. Turning to the terrace of properties within Burlington Place (nos. 18-26), the majority of the property would be behind the building line of those properties with the single storey element extending a little further. However, it is not considered that this would cause a significant loss of light to those properties.
- 6.10 Turning to privacy and overlooking, there would be no windows within either flank elevation, so the properties in the terraces to the east and the west of the property would not be overlooked. The rear windows of the property would mainly overlook the rear gardens of the proposed dwellings; the properties within London Road have sufficiently deep rear gardens that there would be no significant impact from overlooking or a loss of privacy to these dwellings.
- 6.11 Concern has been raised by the properties to the north of (opposite) the proposed site (nos 29-35 Yorke Gardens) in terms of overlooking from the first and second floor windows. In light of the comparable built relationship that exists (in both distance and overlooking) between no 27 and no.29 Yorke Gardens the proposed dwellings would not introduce a level of additional overlooking that would be materially harmful. The proposed dwellings are set slightly further back and in addition there is a substantial protected lime tree between the properties which would assist in moderating the potential for overlooking and loss of privacy.
- 6.12 Whilst there would be a change to the amenity of the neighbouring properties, it is not considered that there would be such harm caused to those properties to be contrary to policy and thereby warrant refusal.

### Highway matters

- 6.13 The proposed development has been considered by the County Highway Authority who having considered any local representations and having assessed the application on safety, capacity and policy grounds, recommends conditions relating to the parking and vehicular access being in situ before the property is occupied and a construction transport management plan.



- 6.14 There have been concerns raised regarding the adequacy of parking. The four parking spaces proposed for two three bedroom houses is considered sufficient and appropriate for properties of this size. Whilst it is noted that the surrounding area is heavily 'parked' by large numbers of cars on the street, the highways authority have not raised an objection on this ground and the proposal is therefore considered acceptable from a highways perspective. In addition, the additional traffic generated from these two plots is unlikely to result in increased traffic congestion.

#### Trees and landscaping

- 6.15 The site has a substantial protected lime tree to the front of the property. The Council's tree officer has no objections to the proposal subject to the tree protection plan being correctly implemented, the submission of a condition relating to foundation design and a supervision and monitoring condition.
- 6.16 In terms of impact on wildlife and the landscaping, a landscaping condition is proposed to be imposed on the decision, along with boundary treatments. This is to ensure that the site will enhance the character of the area. No protected habitats or wildlife have been identified in this urban (garden) location.
- 6.17 Subject to the above conditions being complied with, it is considered that the proposal complies with policy Pc4.

#### CIL

- 6.18 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, roads, public transport and community facilities which are needed to support new development. This development would be CIL liable although the exact amount would be determined and collected after the grant of planning permission.

#### Affordable Housing

- 6.19 Core Strategy Policy CS15 and the Council's Affordable Housing SPD require financial contributions towards affordable housing to be provided on housing developments of 1-9 units. However, in November 2014, the Government introduced policy changes through a Written Ministerial Statement and changes to the national Planning Practice Guidance which restrict the use of planning obligations to secure affordable housing contributions from developments of 10 units or less. These changes were given legal effect following the Court of Appeal judgement in May 2016
- 6.20 In view of this, and subsequent local appeal decisions which have afforded greater weight to the Written Ministerial Statement than the Council's adopted policy, the Council is not presently requiring financial contributions from applications such as this resulting in a net gain of 10 units or less.

## CONDITIONS

1. The development hereby permitted shall be carried out in accordance with the following approved plans.

Reason:

To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

Note: Should alterations or amendments be required to the approved plans, it will be necessary to apply either under Section 96A of the Town and Country Planning Act 1990 for non-material alterations or Section 73 of the Act for minor material alterations. An application must be made using the standard application forms and you should consult with us, to establish the correct type of application to be made.

Plan Type	Reference	Version	Date Received
Block Plan	1410-01	P03	30.05.2017
Section Plan	1410-08	P03	30.05.2017
Elevation Plan	1410-07	P03	30.05.2017
Elevation Plan	1410-06	P03	30.05.2017
Section Plan	1410-09	P03	30.05.2017
Roof Plan	1410-05	P03	30.05.2017
Floor Plan	1410-04	P03	30.05.2017
Floor Plan	1410-03	P03	30.05.2017
Floor Plan	1410-02	P03	30.05.2017
Proposed Plans	1410-01	P01	24.01.2017

2. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason:

To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004

3. No development shall take place until samples of the materials to be used in the construction of the external surfaces, including fenestration and roof, have been submitted to and approved in writing by the Local Planning Authority, and on development shall be carried out in accordance with the approved details.

Reason:

To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Ho13.

4. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no extensions permitted by Classes

A, B or C of Part 1 of the Second Schedule of the 2015 Order shall be constructed.

Reason:

To control any subsequent enlargements in the interests of the visual and residential amenities of the locality with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9, Ho13, and Ho16.

5. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015, (or any Order revoking and re-enacting that Order with or without modification), no first floor windows, dormer windows or rooflights other than those expressly authorised by this permission shall be constructed.

Reason:

To ensure that the development does not affect the amenity of the neighbouring property by overlooking and to protect the visual amenities of the area in accordance with Reigate and Banstead Borough Local Plan 2005 policy Ho9.

6. No development shall commence including groundworks preparation and demolition until all related arboricultural matters, including arboricultural supervision, monitoring and tree protection measures are implemented in strict accordance with the approved details contained in the Tree Protection Plan and Arboricultural Method Statement compiled by ACS Consulting Services dated April 2017.

Reason:

To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with policy Pc4 of the Reigate and Banstead Borough Local Plan 2005 and the recommendations within British Standard 5837.

7. No development, groundworks or demolition processes shall be undertaken until an agreed scheme of supervision for the arboricultural protection measures have been submitted to and approved in writing by the local planning authority. The pre commencement meeting, supervision and monitoring shall be undertaken in accordance with these approved details. The submitted details shall include:

1. Pre commencement meeting between the retained arboricultural consultant, local planning authority Tree Officer and individuals and personnel responsible for the implementation of the approved development
2. Timings, frequency of the supervision and monitoring regime and an agreed reporting process to the local planning authority.
3. The supervision monitoring and reporting process shall be undertaken by a qualified arboriculturist.

Reason:

To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with British Standard 5837:2012 'Trees in Relation to Design, demolition and Construction - Recommendations' and policies Pc4 and Ho9 of the Reigate and Banstead Borough Local Plan.

8. No development, groundworks or demolition processes shall be undertaken until an agreed foundation design incorporating small bore piles have been submitted to and approved in writing by the local planning authority.

Reason:

To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with British Standard 5837:2012 'Trees in Relation to Design, demolition and Construction - Recommendations' and policies Pc4 and Ho9 of the Reigate and Banstead Borough Local Plan.

9. No development shall commence until details of hard and soft landscaping is submitted to and approved in writing by the Local Planning Authority (LPA). These shall include frontage tree and hedge planting and any other existing or proposed, soft or hard, landscaping in the front garden area, or adjacent to boundaries where appropriate.

The soft landscape details shall include an establishment maintenance schedule for a minimum of 2 years, full planting specifications, planting sizes & densities. Upon implementation of the approved development all the landscaping works shall be carried out in strict accordance with the landscape details as approved, and these shall be completed, before building completion, occupation or use of the approved development whichever is the earliest, or as otherwise agreed in writing by the LPA.

If any of the new or existing tree/s or hedge/s, detailed and approved under this condition, are removed, die, or become significantly damaged or diseased within 5 years of completion, it/they shall be replaced before the expiry of one calendar year, to a planting specification agreed in writing by the Local Planning Authority. The hedges detailed shall be retained at a minimum height of 1 metre, or if new, once grown to this height thereafter.

Reason:

To ensure good landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with policies Pc4, Ho9, and Ho13 of the Reigate and Banstead Borough Local Plan 2005.

10. The development shall not be occupied until a plan indicating the positions, design, materials and type of boundary treatment to be erected has been submitted to and approved in writing by the Local Planning Authority. The boundary treatment shall be completed before the occupation of the development hereby permitted.

Reason:

To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Pc4.

11. The development hereby approved shall not be first occupied unless and until the proposed vehicular access to Yorke Gardens has been constructed in accordance with the approved plans and thereafter shall be kept permanently maintained.

Reason:

In order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to meet the objectives of the

NPPF (2012), and to satisfy policies Mo5 and Mo7 of Reigate and Banstead Borough Local Plan (2005).

12. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plans for vehicles to be parked. Thereafter the parking area shall be retained and maintained for their designated purpose.

Reason:

In order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to meet the objectives of the NPPF (2012), and to satisfy policies Mo5 and Mo7 of Reigate and Banstead Borough Local Plan (2005).

13. No development shall commence until a Construction Transport Management Plan, to include details of:

- (a) parking for vehicles of site personnel, operatives and visitors
- (b) loading and unloading of plant and materials
- (c) storage of plant and materials
- (d) measures to prevent the deposit of materials on the highway has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason:

In order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to meet the objectives of the NPPF (2012), and to satisfy policies Mo5 and Mo7 of Reigate and Banstead Borough Local Plan (2005).

## **INFORMATIVES**

1. The use of a suitably qualified arboricultural consultant is essential to provide acceptable supervision and monitoring in respect of the arboricultural issues in respect of the above condition. All works shall comply with the recommendations and guidelines contained within British Standard 5837.
2. The permission hereby granted shall not be construed as authority to carry out any works on the highway. The applicant is advised that prior approval must be obtained from the Highway Authority, Local Highway Services Group (0300 200 1003), before any works are carried out on any footway, footpath, carriageway, or verge to form a vehicle crossover to install dropped kerbs.  
Please see:  
[www.surreycc.gov.uk/roads-and-transport/road-permitsandlicences/vehicle-crossovers-or-dropped-kerbs](http://www.surreycc.gov.uk/roads-and-transport/road-permitsandlicences/vehicle-crossovers-or-dropped-kerbs)
3. The developer is advised that as part of the detailed design of the highway works required by the above conditions, the County Highway Authority may require necessary accommodation works to street lights, road signs, road markings, highway drainage, surface covers, street trees, highway verges, highway surfaces, surface edge restraints and any other street furniture/equipment

4. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148,149).
- 5 . The applicant is advised that prior to the initial occupation of any individual dwelling hereby permitted, a 140 litre wheeled bin conforming to British Standard BSEN840 and a 60 litre recycling box should be provided for the exclusive use of the occupants of that dwelling. Prior to the initial occupation of any communal dwellings or flats, wheeled refuse bins conforming to British Standard BSEN840, separate recycling bins for paper/card and mixed cans, and storage facilities for the bins should be installed by the developer prior to the initial occupation of any dwelling hereby permitted. Further details on the required number and specification of wheeled bins and recycling boxes is available from the Council's Neighbourhood Services on 01737 276501 or 01737 276097, or on the Council's website at [www.reigate-banstead.gov.uk](http://www.reigate-banstead.gov.uk). Bins and boxes meeting the specification may be purchased from any appropriate source, including the Council's Neighbourhood Services Unit on 01737 276775.
6. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at [www.firesprinklers.info](http://www.firesprinklers.info).
7. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
  - (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
  - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
  - (c) Deliveries should only be received within the hours detailed in (a) above;
  - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
  - (e) There should be no burning on site;
  - (f) Only minimal security lighting should be used outside the hours stated above; and
  - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

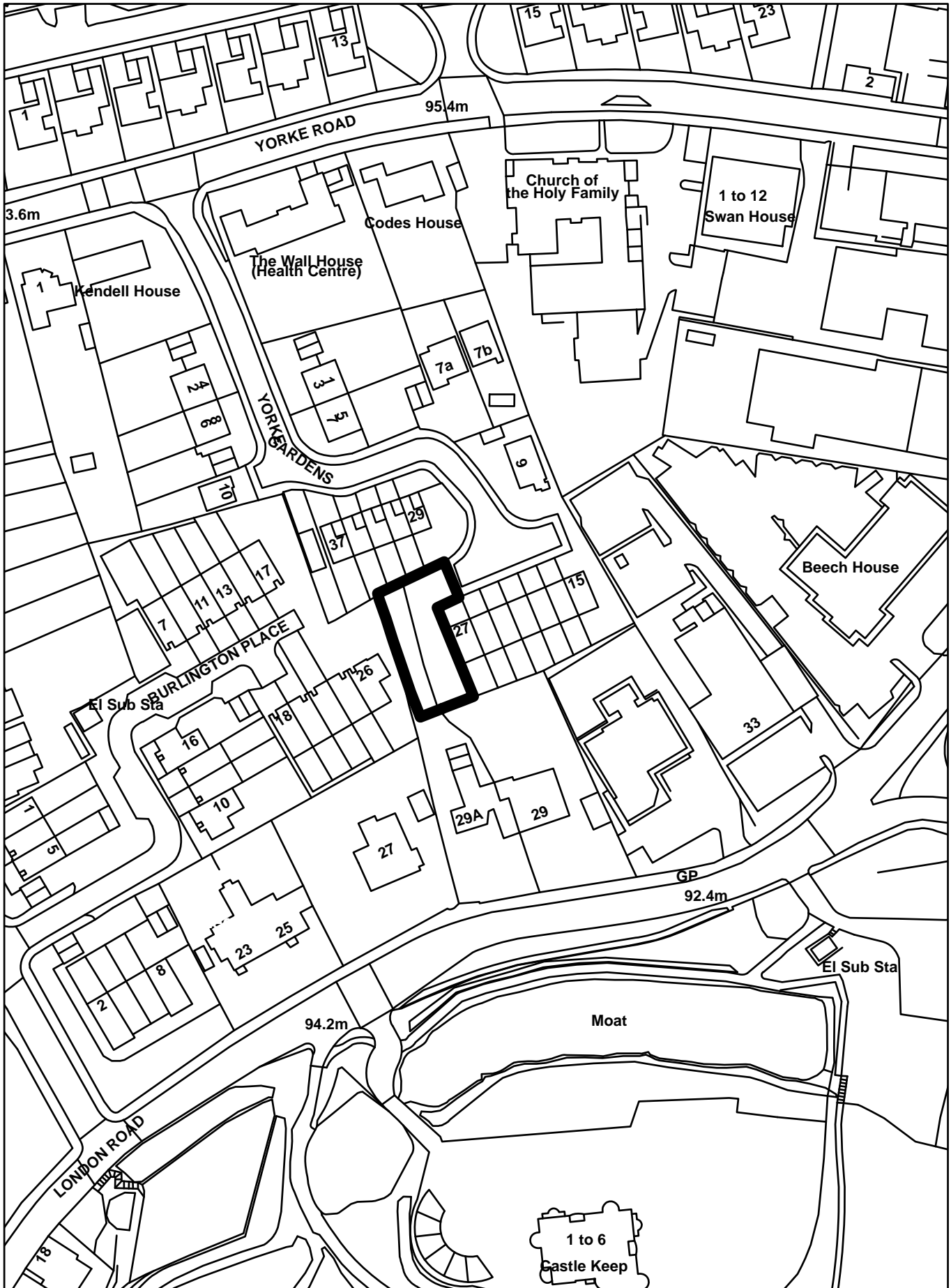
Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

**Statement of reason for grant of planning permission (Article 31 of The Town And Country Planning (Development Management Procedure) (England) Order 2010):**

The development hereby permitted has been assessed against development plan policies Ho9, Ho13, Ho16, Pc4, Pc13, Mo5 and Mo7, and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

# 17/00142/F - Land Adjacent 27 Yorke Gardens, Reigate





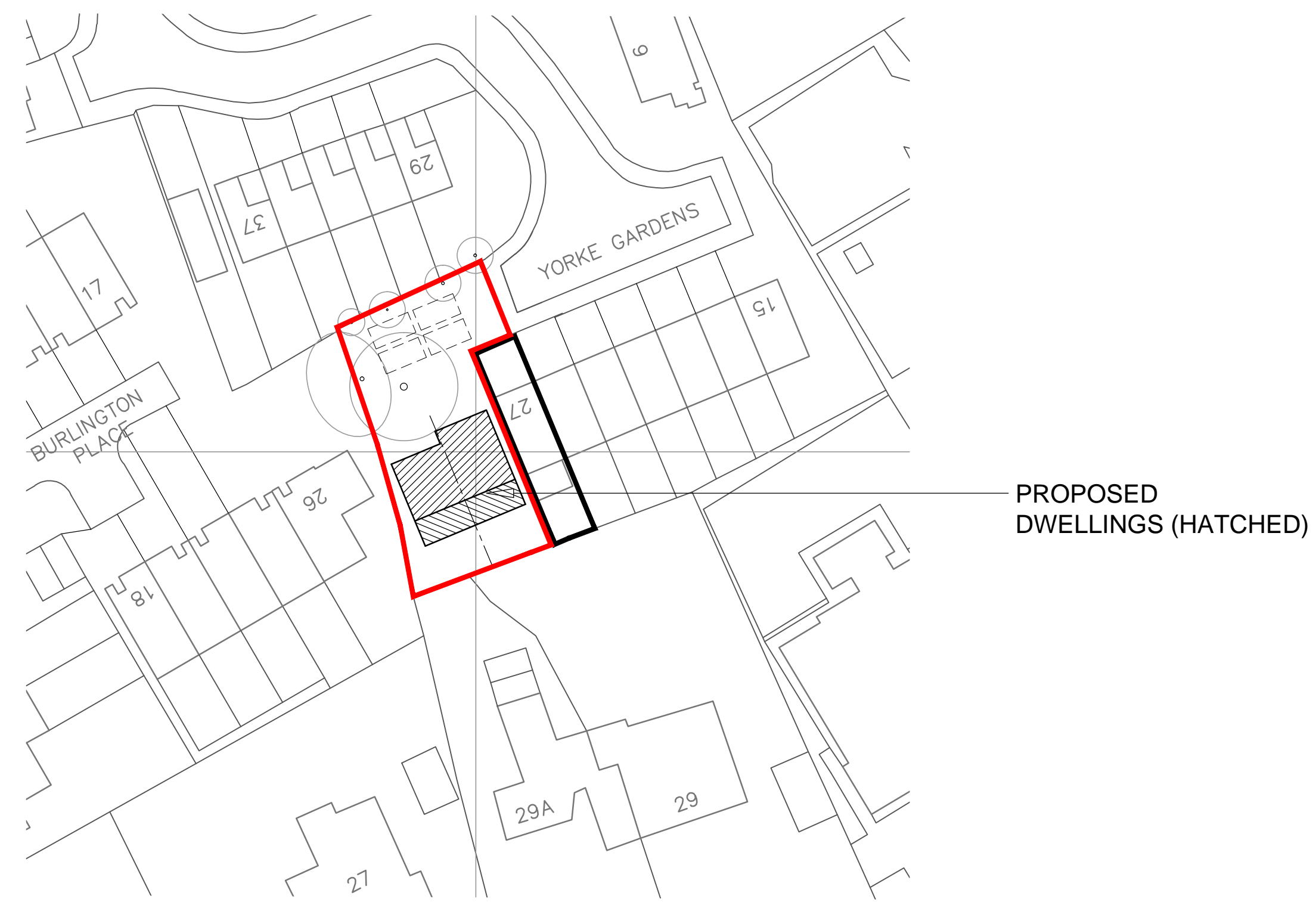
**NOTES**

CONTRACTORS ARE TO CHECK ALL LEVELS AND DIMENSIONS BEFORE WORK IS PUT IN HAND AND ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECTS.

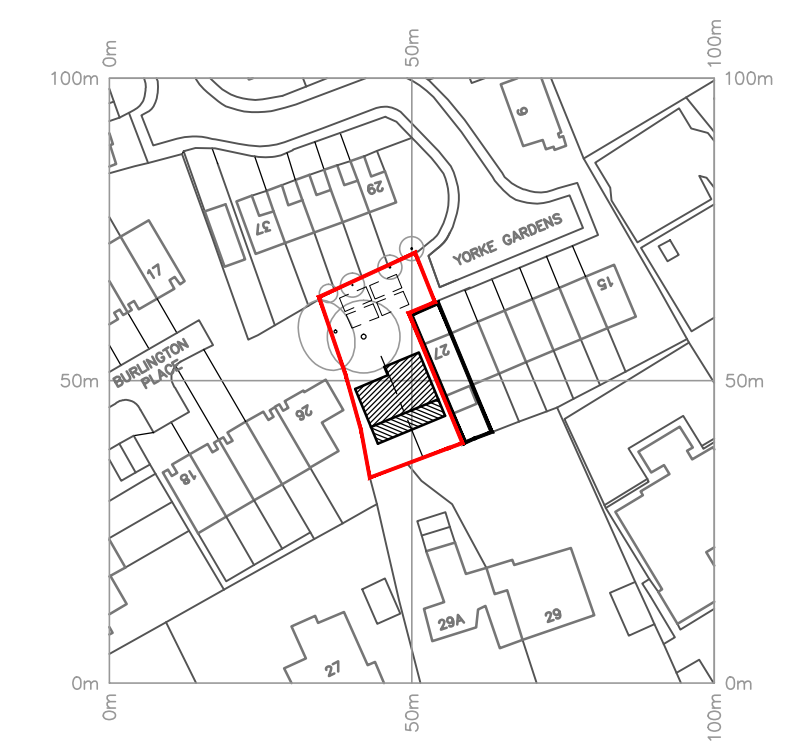
THIS DRAWING IS SUBJECT TO THE COPYRIGHT OF REIGATE ARCHITECTS AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF REIGATE ARCHITECTS

THE PURPOSE OF THIS DRAWING IS PLANNING

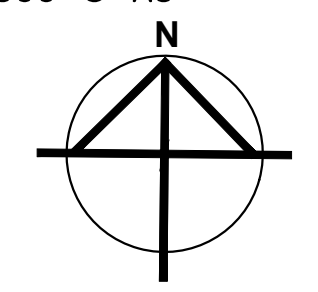
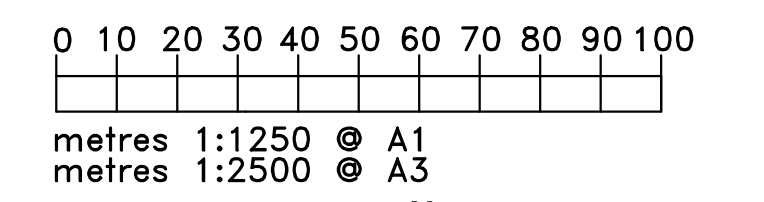
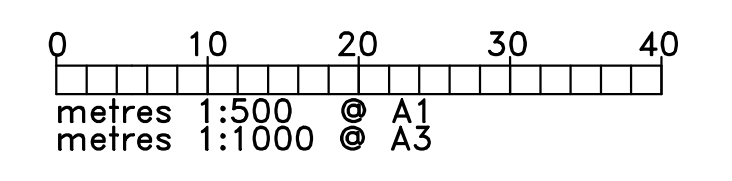
REV	DATE	DESCRIPTION	DWN	CHKD
P02	30/03/17	UPPER FLOOR REAR PROJECTION REDUCED GARAGE REMOVED	S S	S W
P03	26/05/17	UPPER FLOOR REAR PROJECTION REMOVED	S S	S W



**BLOCK PLAN  
SCALE 1:500**



**LOCATION PLAN  
SCALE 1:1250**



59 NUTLEY LANE REIGATE SURREY  
RH2 9HP 01737 222099

INFO@REIGATEARCHITECTS.CO.UK

CLIENT  
MR J. AYLOTT &  
MRS C. M. AYLOTT  
JOB

27 YORKE GARDENS  
RH2 9HQ  
TITLE  
LOCATION AND BLOCK  
PLANS

SCALE 1:500@A1 1:1250@A1 DATE 26/05/2017 STATUS	DRAWING NO. <b>1410-01</b>	REV <b>P03</b>
--	-------------------------------	-------------------

No. 26 BURLINGTON PLACE

GARAGE TO  
No. 26 BURLINGTON PLACE

**NOTES**

CONTRACTORS ARE TO CHECK ALL LEVELS AND DIMENSIONS BEFORE WORK IS PUT IN HAND AND ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECTS.

THIS DRAWING IS SUBJECT TO THE COPYRIGHT OF REIGATE ARCHITECTS AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF REIGATE ARCHITECTS

THE PURPOSE OF THIS DRAWING IS PLANNING

REV	DATE	DESCRIPTION	DWN	CHKD
P02	30/03/17	UPPER FLOOR REAR PROJECTION REDUCED GARAGE REMOVED	SS	SW
P03	26/05/17	UPPER FLOOR REAR PROJECTION REMOVED	SS	SW

REAR GARDEN TO  
No. 37 YORK GARDENS

REAR GARDEN TO  
No. 26 BURLINGTON PLACE

REAR GARDEN TO  
No. 29A LONDON ROAD

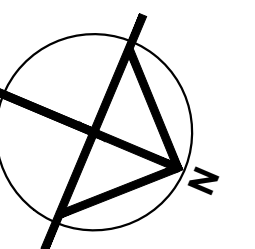
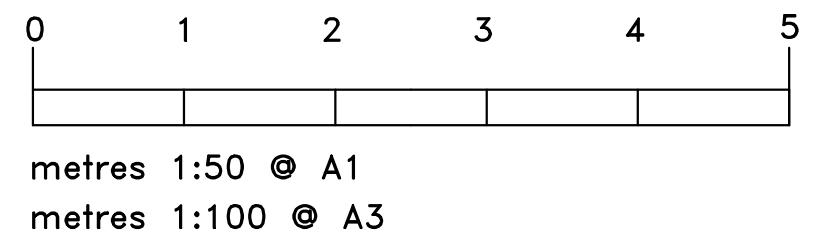
REAR GARDEN TO  
No. 29 LONDON ROAD

REAR GARDEN TO  
No. 27 YORKE GARDENS

CONSERVATORY

No. 27 YORKE GARDENS

ROOF PLAN



**REIGATE  
ARCHITECTS**

59 NUTLEY LANE REIGATE SURREY  
RH2 9HP 01737 222099

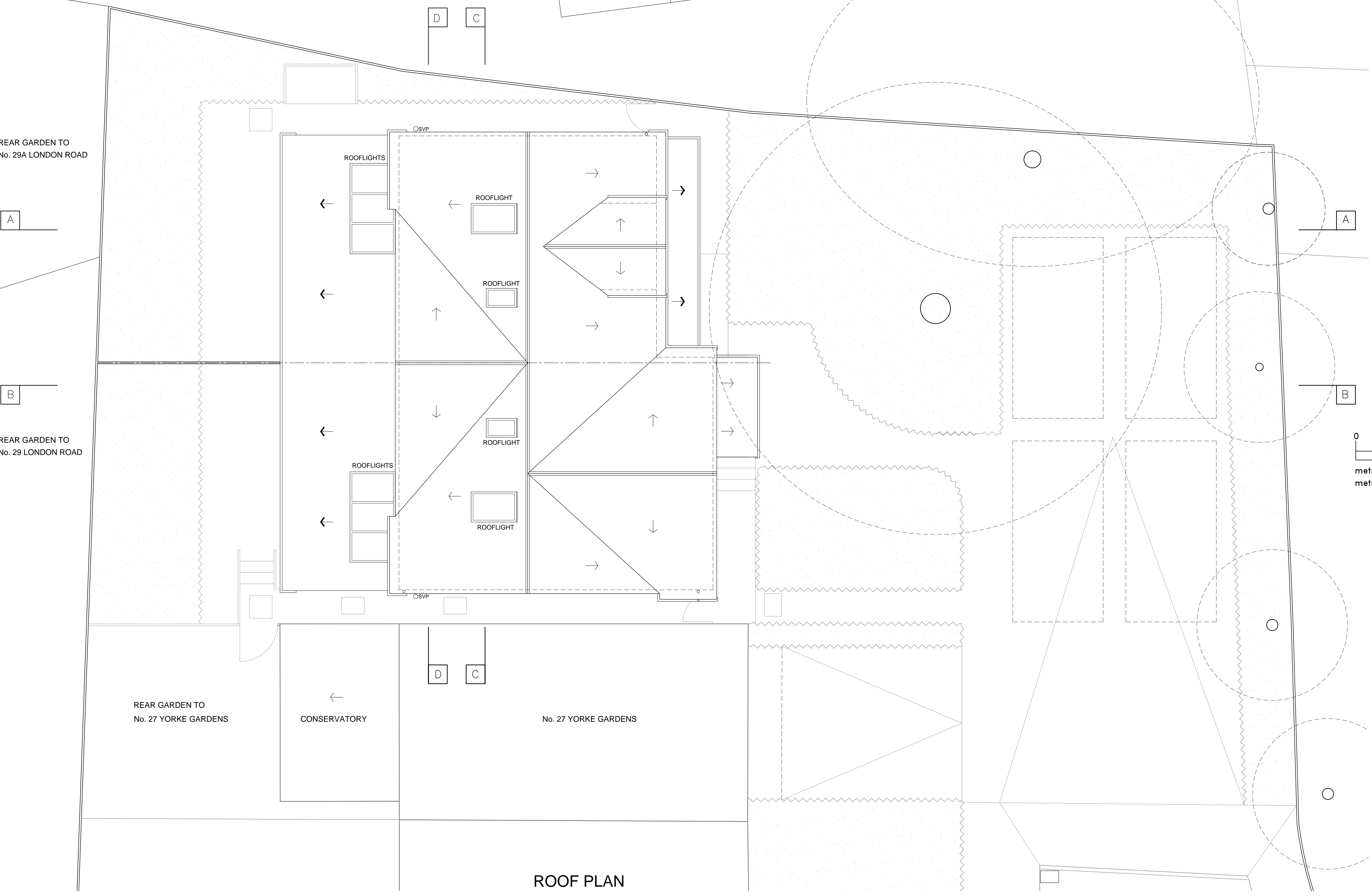
INFO@REIGATEARCHITECTS.CO.UK

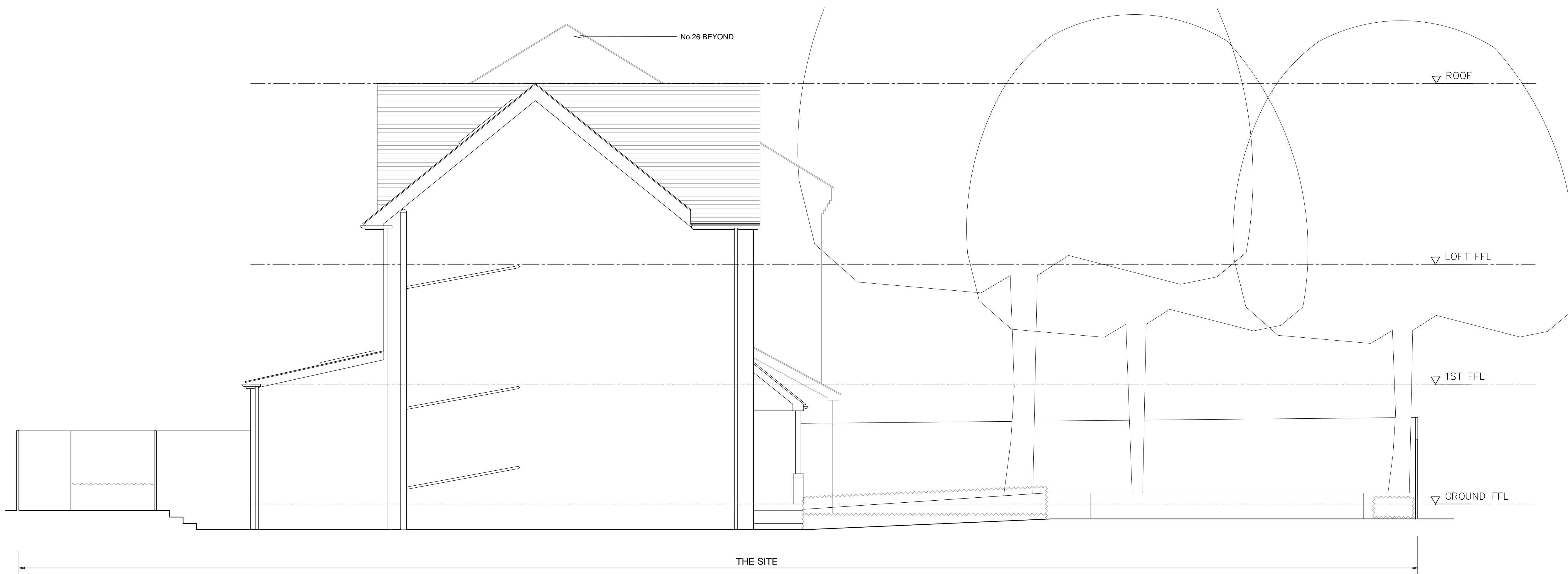
CLIENT  
MR J. AYLOTT &  
MRS C. M. AYLOTT  
JOB

27 YORKE GARDENS  
RH2 9HQ  
TITLE  
PROPOSED  
PLAN (4)

SCALE  
1:50@A1  
1:100@A3  
DATE  
26/05/2017  
STATUS

DRAWING NO. 1410-05 REV P03

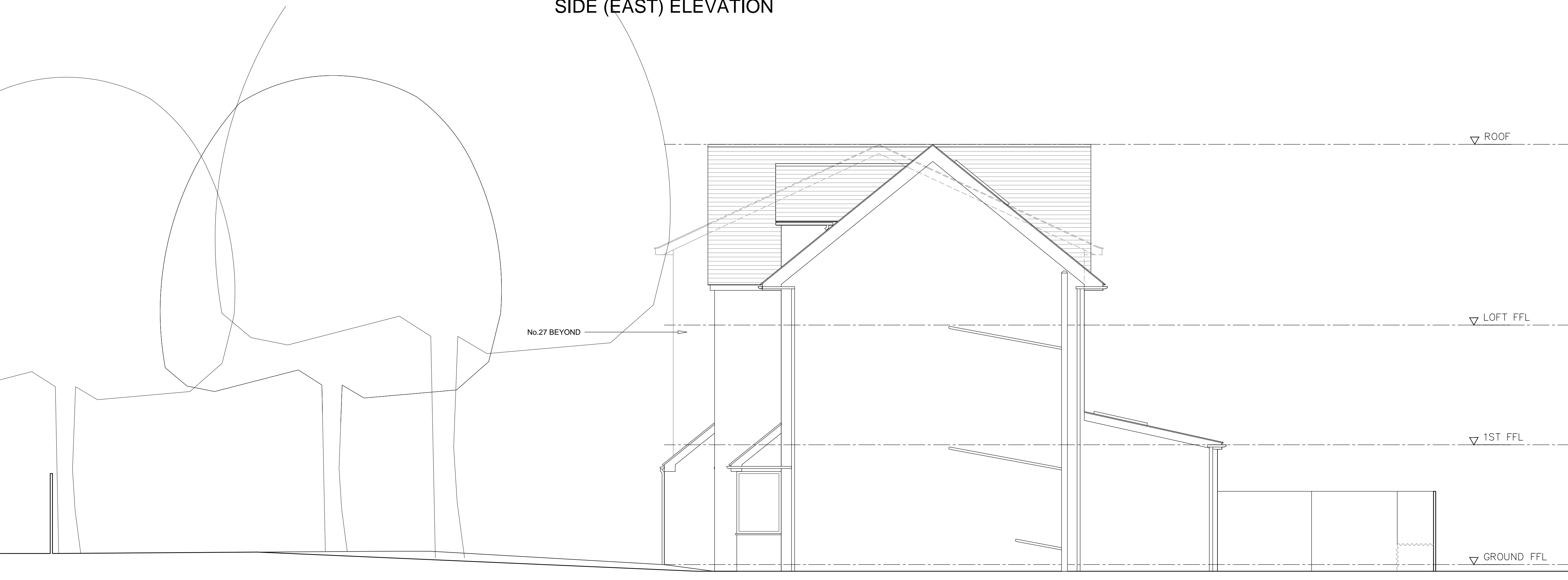
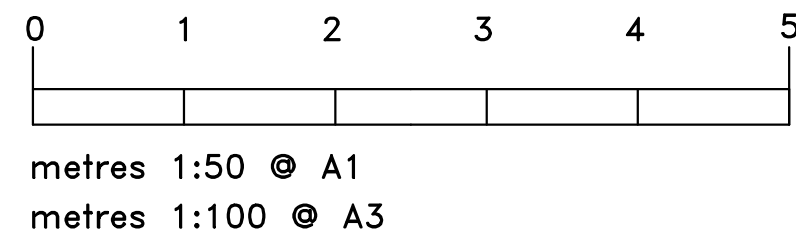




SIDE (EAST) ELEVATION

**NOTES**  
 CONTRACTORS ARE TO CHECK ALL LEVELS AND DIMENSIONS BEFORE WORK IS PUT IN HAND AND ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECTS.  
 THIS DRAWING IS SUBJECT TO THE COPYRIGHT OF REIGATE ARCHITECTS AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF REIGATE ARCHITECTS  
 THE PURPOSE OF THIS DRAWING IS PLANNING

REV	DATE	DESCRIPTION	DWN	CHKD
P02	30/03/17	UPPER FLOOR REAR PROJECTION REDUCED GARAGE REMOVED	SS	SW
P03	26/05/17	UPPER FLOOR REAR PROJECTION REMOVED	SS	SW



SIDE (WEST) ELEVATION

**REIGATE ARCHITECTS**

59 NUTLEY LANE REIGATE SURREY RH2 9HP 01737 222099

INFO@REIGATEARCHITECTS.CO.UK

CLIENT  
 MR J. AYLOTT &  
 MRS C. M. AYLOTT  
 JOB

27 YORKE GARDENS  
 RH2 9HQ  
 TITLE

PROPOSED  
 ELEVATIONS (2)

SCALE 1:50@A1 1:100@A3 DATE 26/05/2017 STATUS	DRAWING NO. <b>1410-07</b>	REV <b>P03</b>
--	-------------------------------	-------------------





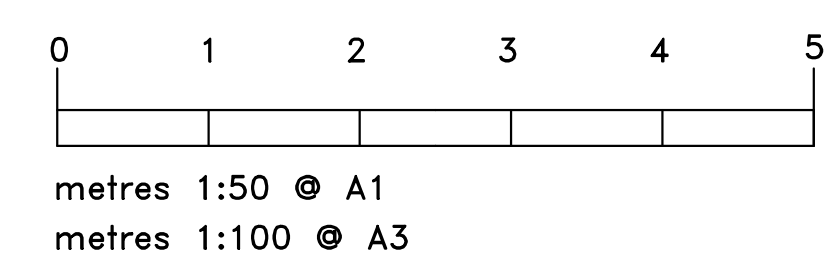
FRONT (NORTH) ELEVATION



REAR (SOUTH) ELEVATION

**NOTES**  
 CONTRACTORS ARE TO CHECK ALL LEVELS AND DIMENSIONS BEFORE WORK IS PUT IN HAND AND ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECTS.  
 THIS DRAWING IS SUBJECT TO THE COPYRIGHT OF REIGATE ARCHITECTS AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF REIGATE ARCHITECTS  
 THE PURPOSE OF THIS DRAWING IS PLANNING

REV	DATE	DESCRIPTION	DWN	CHKD
P02	30/03/17	UPPER FLOOR REAR PROJECTION REDUCED GARAGE REMOVED	SS	SW
P03	26/05/17	UPPER FLOOR REAR PROJECTION REMOVED	SS	SW



**REIGATE ARCHITECTS**

59 NUTLEY LANE REIGATE SURREY RH2 9HP 01737 222099

INFO@REIGATEARCHITECTS.CO.UK

CLIENT  
 MR J. AYLOTT &  
 MRS C. M. AYLOTT  
 JOB

27 YORKE GARDENS  
 RH2 9HQ  
 TITLE  
 PROPOSED  
 ELEVATIONS (1)

SCALE 1:50@A1 1:100@A3 DATE 26/05/2017 STATUS	DRAWING NO. <b>1410-06</b>	REV <b>P03</b>
--	-------------------------------	-------------------